

# Heber Public Utility District Report to the Board of Directors

**MEETING DATE:** October 15, 2020

**FROM:** Laura Fischer, General Manager

**SUBJECT:** Authorize staff to secure site control for Children's Park.

**ISSUE:**

Shall the Heber Public Utility Board of Directors authorize staff to secure site control for Children's Park?

**GENERAL MANAGER RECOMMENDATION:**

Authorize staff to secure site control for Children's Park.

**FISCAL IMPACT:**

None.

**BACKGROUND:**

As you can see on the attached map, Children's Park has encroached into the alley just south of the park for many years. During the design of the park improvement project the encroachment was discovered. The State grant program that we were awarded for the construction of park improvements, cannot be used on the portion of the project that is not under our control.

**DISCUSSION:**

I spoke with our grant coordinator for the State. She said that the minimum we need is a letter from the County providing us Land Tenure. The documents needed and the procedures to follow are included in the grant application.

During the design meetings, it was suggested that we secure the alley from Valley Blvd to Heber Avenue. This would improve access to the park from residents to the east.

Staff met with Mr. John Gay, Director of Public Works at the County of Imperial. He stated that he felt the county would not have any issues deeding us the use of the entire alley or just a portion of the alley as needed for the park improvement project. Staff is investigating the appropriate type of title transfer needed, writing a letter to the County CEO requesting a meeting, and working on a legal description of the portion needed.

I then spoke with Ms. Karen Sims, our park grant and per capita grant coordinator. I asked her if the Statewide park grant program funds could be used on the portion of the park that was not under our site control, she said no. I asked if we could expand our project to include improvements to the alley, should the District secure title. She said no as the alley was not designated as a park, walking path or open space.

I called APCD regarding funding for improvements to the alley to make it nonmotorized vehicle walking path. Mr. Matt Dessert stated that two grants, Rule 310 and AB 617, will fund projects that reduce or eliminate PM10 and other emission pollutants from vehicle

traffic. Reducing or eliminating vehicle traffic on the alley would qualify.

**CONCLUSION:**

At this point, staff needs authorization to negotiate to secure land tenure of the following:

- 1) Just the portion of the alley that is currently being used as part of Children's Park.
- 2) The entire alley portion from Valley Blvd. through to Heber Avenue.

**RECOMMENDATION:**

Staff recommends authorizing staff to negotiate land tenure or ownership of the alley from Valley Blvd through to Heber Avenue.

**ALTERNATIVES:**

- 1) Do not authorize staff to negotiate land tenure of the alley from Valley Blvd through Heber Avenue
- 2) Do not authorize staff to negotiate land tenure of the alley that is currently a portion of Children's Park, which will cause the Children's Park improvement project to be reduced and delayed.
- 3) Provide alternate direction to staff.

Respectfully Submitted,

Laura Fischer, General Manager

Attachment: Backup Material

# HEBER PUBLIC UTILITY DISTRICT CHILDREN'S PARK RENOVATION PROJECT

STATEWIDE PARK DEVELOPMENT AND COMMUNITY REVITALIZATION PROJECT NO. XS-13-036



**The Holt Group**  
ENGINEERING • PLANNING • CONSTRUCTION MANAGEMENT • SURVEYING  
EL CENTRO OFFICE  
1801 N. Imperial Ave.  
El Centro, CA 92423  
(760) 337-3883

## PROJECT DESCRIPTION

THE PROJECT IS TO RENOVATE THE EXISTING CHILDREN'S PARK, WHICH IS LOCATED IN A WELL-ESTABLISHED RESIDENTIAL NEIGHBORHOOD. CHILDREN'S PARK IS HEBER'S FIRST AND OLDEST PARK WHICH HAS BECOME A POPULAR PLAY AREA IN THIS DISADVANTAGED NEIGHBORHOOD. AS AN EXISTING PARK IN AN OLDER NEIGHBORHOOD, THE PLAYGROUND EQUIPMENT, BENCHES, AND PICNIC AREAS IN CHILDREN'S PARK ARE AGING. THE EXISTING PLAY EQUIPMENT HAS EXCEEDED ITS LIFE EXPECTANCY AND THE INCREASED TEMPERATURES HAVE RESULTED IN DETERIORATION OF THE PLAYGROUND EQUIPMENT AND ALL OTHER AMENITIES. THERE IS A LACK OF RECREATIONAL OPPORTUNITIES WITHIN THIS NEIGHBORHOOD AND THE PROPOSED IMPROVEMENTS ARE INTENDED TO PROVIDE INCREASED PARK AMENITIES TO BENEFIT THE SURROUNDING AREA'S UNDER-SERVED COMMUNITY.

IMPROVEMENTS INCLUDE THE REPLACEMENT OF THE DILAPIDATED PLAYGROUND EQUIPMENT WITH NEW, INCLUSIVE AND ACCESSIBLE EQUIPMENT. THIS TYPE OF EQUIPMENT IS CONSISTENT WITH HEBER PUBLIC UTILITY DISTRICT'S COMMITMENT TO PROVIDING RECREATIONAL ACTIVITIES FOR CHILDREN AND FAMILIES OF ALL ABILITIES. INCLUSIVE AMENITIES ENCOURAGE SOCIAL INTERACTION AND PHYSICAL ACTIVITY FOR CHILDREN OF ALL ABILITIES IN ENHANCING COGNITIVE AND DEVELOPMENTAL SKILLS. THIS ENSURES THAT EVERY PERSON IN THE COMMUNITY HAS A CHANCE TO ENJOY THE BENEFITS OF PLAY. A SHADE STRUCTURE OVER THE PLAYGROUND WILL ALSO BE INSTALLED, AS THE COMMUNITY OF HEBER IS LOCATED IN A HOT DESERT CLIMATE WHERE DAILY TEMPERATURES REGULARLY RISE ABOVE 110 DEGREES DURING THE SUMMER MONTHS. PLAYGROUND FITNESS EQUIPMENT WILL ALSO BE ADDED TO THE PARK AS A WAY OF ENCOURAGING HEALTHY PHYSICAL ACTIVITY AND PROMOTING LONGEVITY FOR ALL AGE GROUPS IN THE NEIGHBORHOOD.

A NEW SPLASHPAD WILL ALSO BE INSTALLED IN CHILDREN'S PARK. AS PREVIOUSLY STATED, HEBER IS A DESERT COMMUNITY WHERE OUTDOOR PHYSICAL ACTIVITIES ARE LIMITED BECAUSE OF THE EXTREMELY HOT TEMPERATURES DURING THE SUMMER MONTHS. THIS IS ESPECIALLY CRITICAL FOR THE DISADVANTAGED RESIDENTS OF THE NEIGHBORHOOD WHO HAVE LIMITED ACCESS TO TRANSPORTATION TO TRAVEL TO OTHER WATER RECREATION FACILITIES. THE SPLASHPAD WILL BE FITTED WITH A NON-SLIP SAFETY SURFACE AND VARIOUS NOZZLES FEATURES THAT SHOWER, SPRAY, RAIN, MIST, AND SHOOT STREAMS OF WATER FOR RECREATIONAL WATER PLAY. THE SPLASHPAD WILL UTILIZE A WATER COLLECTION AND FILTRATION SYSTEM TO RECIRCULATE THE WATER TO MAINTAIN WATER QUALITY AND MINIMIZE WATER WASTE.

RESTROOMS WILL ALSO BE INSTALLED AS PART OF THE PROJECT. THERE ARE CURRENTLY NO EXISTING RESTROOMS AT THE PARK. THE INSTALLATION OF A RESTROOM FACILITY WILL FURTHER ENCOURAGE OUTDOOR PUBLIC RECREATION. THE RESTROOM WILL INCLUDE SOLAR PANELS TO MINIMIZE ENERGY DEMANDS.

## GENERAL NOTES

### STREET IMPROVEMENT GENERAL NOTES

- THE STRUCTURAL SECTIONS SHALL BE IN ACCORDANCE WITH IMPERIAL COUNTY STANDARDS (OR CALTRANS IF IN STATE ROW) AND AS APPROVED BY THE PUBLIC WORKS DIRECTOR (OR CALTRANS).
- APPROVAL OF THESE IMPROVEMENT PLANS AS SHOWN DOES NOT CONSTITUTE APPROVAL OF ANY CONSTRUCTION OUTSIDE THE PROJECT BOUNDARY.
- THE EXISTENCE AND LOCATION OF EXISTING UNDERGROUND FACILITIES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO OTHER EXISTING FACILITIES EXCEPT AS SHOWN ON THESE PLANS. HOWEVER, THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING FACILITY SHOWN HEREON AND ANY OTHER WHICH IS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- LOCATION AND ELEVATIONS OF IMPROVEMENTS TO BE MET BY WORK TO BE DONE SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK. CONTRACTOR WILL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
- UTILITIES COORDINATION

NO LESS THAN 3 WORKING DAYS PRIOR TO ANY EXCAVATION OR TRENCHING, EACH CONTRACTOR DOING SUCH WORK SHALL CONTACT THE FOLLOWING AGENCIES SO THAT EXISTING UNDERGROUND UTILITIES MAY BE LOCATED. THE AGENCY MAY REQUIRE AN INSPECTOR TO BE PRESENT.

- |   |                |
|---|----------------|
| 1. WATER/SEWER HEBER PUBLIC UTILITY DISTRICT (HPUD) | (760) 482-2440 |
| 2. IMPERIAL IRRIGATION DISTRICT (POWER)             | (760) 339-8280 |
| 3. IMPERIAL IRRIGATION DISTRICT (WATER)             | (760) 339-8283 |
| 4. AT&T   | (800) 422-4133 |
| 5. SOUTHERN CALIFORNIA GAS CO.                      | (760) 370-5812 |
| 6. THE CABLE COMPANY                                | (760) 312-4512 |

### EXISTING UNDERGROUND UTILITIES

BEFORE EXCAVATING FOR THIS CONTRACT, VERIFY LOCATION OF UNDERGROUND UTILITIES. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM AVAILABLE RECORDS ONLY AND MAY NOT REFLECT ALL EXISTING UTILITIES. LOCATION OF ALL EXISTING UTILITIES SHALL BE CONFIRMED BY FIELD MEASUREMENTS BY CONTRACTOR PRIOR TO CONSTRUCTION OF WORK.

CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHER EXISTING LINES OF RECORD OR NOT SHOWN ON THESE PLANS.

ACCURATE VERIFICATIONS AS TO SIZE, LOCATION AND DEPTH OF EXISTING UNDERGROUND SERVICES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL NOTIFY THE SOUTHERN CALIFORNIA GAS COMPANY, AT&T, IMPERIAL IRRIGATION DISTRICT AND ANY OTHER AFFECTED UTILITY AGENCIES PRIOR TO STARTING HIS WORK NEAR SUCH UTILITY FACILITIES AND SHALL COORDINATE HIS WORK WITH UTILITY REPRESENTATIVES. FOR LOCATION OF UNDERGROUND UTILITIES AND APPURTENANCES, CONTACT "UNDERGROUND SERVICE ALERT" AT 811.

- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CONTACT THE UTILITY AGENCIES, ADVISE THEM OF THE PROPOSED IMPROVEMENTS AND BEAR THE COST OF RELOCATIONS, IF NEEDED.
- ALL SIGNS TO BE ALUMINUM WITH 3M HIGH INTENSITY TYPE REFLECTIVE FACE OR EQUIVALENT. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY STRIPING, PAVEMENT MARKERS, OR LEGENDS OBLITERATED BY THE CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL PERFORM ALL NEW STRIPINGS AND REMOVAL OF PREVIOUS STRIPING.
- NO REVISIONS OF ANY KIND SHALL BE MADE TO THESE PLANS WITHOUT THE PRIOR WRITTEN APPROVAL OF BOTH THE COUNTY ENGINEER (OR HIS REPRESENTATIVE) AND THE ENGINEER OF RECORD. A REPRODUCIBLE AS-BUILT PLAN SET WILL BE PROVIDED TO THE PUBLIC WORKS DEPARTMENT AS A CONDITION OF SUBSTANTIAL CONSTRUCTION COMPLETION AND PRIOR TO ACCEPTANCE.
- ALL WORK AND MATERIALS SHALL CONFORM TO THESE PLANS AND SPECIFICATIONS, THE IMPERIAL COUNTY DEPARTMENT OF PUBLIC WORKS STANDARDS AND ENCROACHMENT PERMIT CONDITIONS, ANY REFERENCED STANDARDS AND SPECIFICATIONS AND THE SPECIFICATIONS & THE REQUIREMENTS OF THE AGENCIES REFERRED TO HEREIN. ALL WORK SHOWN OR INDICATED BY THESE PLANS SHALL BE COMPLETED IN ACCORDANCE WITH THE STANDARDS, POLICIES AND REGULATIONS OF IMPERIAL COUNTY, WHERE, OR IF, CONFLICTS OCCUR, THEN THE IMPERIAL COUNTY REQUIREMENTS SHALL GOVERN.
- UNLESS SPECIFICALLY INDICATED OTHERWISE METHODS EMPLOYED AND MATERIAL USED IN THE CONSTRUCTION OF ALL OFFSITE IMPROVEMENTS SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE "STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS DATED MAY 2010". ALL WORK IS SUBJECT TO INSPECTION AND APPROVAL AS REQUIRED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN AN EXCAVATION PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF SAFETY AND TO ADHERE TO ALL PROVISIONS OF THE STATE CONSTRUCTION SAFETY ORDERS AND STANDARDS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A GENERAL CONSTRUCTION ACTIVITY STORM WATER PERMIT FROM THE STATE WATER RESOURCES CONTROL BOARD, DIVISION OF WATER QUALITY, ATTENTION: STORM WATER PERMIT UNIT, P.O. BOX 1977, SACRAMENTO, CALIFORNIA, 95612.
- CONSTRUCTION PROJECTS DISTURBING MORE THAN ONE ACRE MUST OBTAIN A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. THE CONTRACTOR SHALL BE REQUIRED TO FILE A NOTICE OF INTENT (NOI) WITH THE STATE WATER RESOURCES CONTROL BOARD, PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND MONITORING PLAN FOR THE SITE.
- EXISTING STORM DRAIN PIPES/CULVERTS WHETHER TO BE CONNECTED TO, EXTENDED, ADJUSTED, DRAINED TO, OR JUST IN PROJECT VICINITY SHALL BE REPAIRED AND/OR CLEANED TO MAKE THEM FUNCTIONAL AND ACCEPTABLE AS DIRECTED BY THE PUBLIC WORKS DIRECTOR.
- TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) OR AS DIRECTED BY THE IMPERIAL COUNTY TRAFFIC ENGINEER.
- ANY EXISTING SURVEY MONUMENTS OR COUNTY RECOGNIZED BENCHMARKS SHALL BE PROTECTED BY THE CONTRACTOR. SHOULD ANY SUCH MONUMENTS OR BENCHMARKS BE REMOVED, DAMAGED, OBLITERATED OR ALTERED BY THE CONTRACTOR'S OPERATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER RESETTING OF THE SAME AS PER THE SUBDIVISION MAP ACT, THE PROFESSIONAL LAND SURVEYORS ACT AND THE SATISFACTION OF THE COUNTY SURVEYOR/DIRECTOR OF PUBLIC WORKS. SUCH POINTS SHALL BE REFERENCED AND REPLACED WITH APPROPRIATE MONUMENTATION BY A LICENSED LAND SURVEYOR OR A REGISTERED CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING. A CORNER RECORD OR RECORD OF SURVEY AS APPROPRIATE SHALL BE FILED BY THE LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER.
- DUST SHALL BE CONTROLLED BY THE CONTRACTOR IN ACCORDANCE WITH ALL IMPERIAL COUNTY AIR POLLUTION CONTROL DISTRICT (APCD) FUGITIVE DUST CONTROL RULES AND REGULATIONS AND SHALL COMPLY WITH THEIR PERMITTING REQUIREMENTS, IF APPLICABLE.
- THE NOTES LISTED ABOVE ARE A MINIMUM LIST. THIS DOES NOT RELIEVE THE ENGINEER FROM COMPILED ADDITIONAL NOTES THAT MAY BE REQUIRED FOR THE PROJECT.

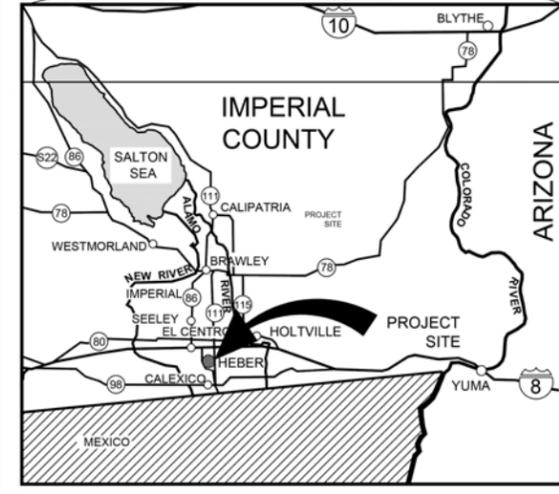
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:  
GAS: TELEPHONE NO. (760) 370-5812  
ID POWER: TELEPHONE NO. (760) 339-8280  
WATER: TELEPHONE NO. (760) 339-8283  
AT&T TELEPHONE: (800) 422-4133  
CATV: TELEPHONE NO. (760) 312-2512  
SEWER AGENCY: TELEPHONE NO. (760) 482-2440  
WATER AGENCY: TELEPHONE NO. (760) 482-2440  
TIME WARNER COMM: TELEPHONE NO. (760) 337-4818
- ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ADJUTING CUT OR FILL SURFACES.
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILTING, SCOUR OR OTHER DAMAGE, WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THE PLAN. THE COUNTY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION OF NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
- SPECIAL CONDITION: IF ANY ARCHEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING OPERATION, SUCH OPERATION WILL CEASE IMMEDIATELY AND THE PERMITTEE WILL NOTIFY THE DIRECTOR OF THE PLANNING DEPARTMENT AND THE DISCOVERY. GRADING OPERATION WILL NOT RECOMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE DIRECTOR OF PLANNING TO DO SO.
- THE CONSTRUCTION OF ONE P.O.G. STANDARD DRIVEWAY PER LOT, LOCATION TO BE DETERMINED IN THE FIELD BY ENGINEER OF WORK AND APPROVED BY COUNTY PUBLIC WORKS INSPECTOR. P.O.G. SURFACING OF DRIVEWAY TO EXTEND FROM CURB TO PROPERTY LINE.
- ALL GRADING SHALL CONFORM TO THE UNIFORM BUILDING CODE APPENDIX CHAP. 33, AS AMENDED BY TITLE 9 LAND USE ORDINANCE.
- ALL PROPERTY CORNERS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION AND/OR GRADING.
- DURING ROUGH GRADING OPERATIONS AND PRIOR TO THE CONSTRUCTION OF ANY PERMANENT DRAINAGE STRUCTURES, TEMPORARY DRAINAGE CONTROL SHALL BE PROVIDED TO PREVENT PONDING WATER AND DAMAGE TO CONTIGUOUS PROPERTIES.
- DUST SHALL BE CONTROLLED IN ACCORDANCE WITH THE APPROVED PM10 PLAN. APPROVAL SHALL BE BY IMPERIAL COUNTY AIR POLLUTION CONTROL DISTRICT.
- NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE EXISTING GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL AND OTHER DELETERIOUS MATERIAL.
- THE MAXIMUM ALLOWABLE CUT AND FILL SLOPES ARE 2:1, UNLESS A SLOPE STABILITY ANALYSIS AUTHORIZES A STEEPER SLOPE AND HAS BEEN APPROVED.
- A 5' WIDE BY 1' HIGH BERM, OR EQUIVALENT, SHALL BE CONSTRUCTED ALONG THE TOP OF ALL FILL SLOPES OVER 2' IN VERTICAL HEIGHT. ALL SLOPES LESS THAN OR EQUAL TO 5' SHALL HAVE A BERM TO PREVENT DRAINAGE FROM ERODING SAME.
- A BROW DITCH DESIGNED TO HANDLE THE FLOWS (Q) FROM A 100-YR. STORM EVENT SHALL BE CONSTRUCTED ALONG THE TOP OF ALL CUT SLOPES.
- NO OBSTRUCTION OF FLOOD PLAINS OR NATURAL WATER COURSES WILL BE PERMITTED.
- ALL EXISTING DRAINAGE COURSES ON THE PROJECT SITE MUST CONTINUE TO FUNCTION DURING STORM CONDITIONS. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT CONTIGUOUS PROPERTIES DURING GRADING OPERATIONS.
- A SUITABLY QUALIFIED AND REGISTERED PROFESSIONAL SHALL SUBMIT A WRITTEN CERTIFICATION TO THE PUBLIC WORKS DEPARTMENT THAT THE FINAL GRADING HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS FOR ALL GRADING DESIGNATED AS "ENGINEERED GRADING". AS-BUILT PLANS SHALL BE PROVIDED PRIOR TO FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL NOTIFY "UNDERGROUND SERVICE ALERT" AT 811 A MINIMUM OF TWO DAYS PRIOR TO THE COMMENCEMENT OF ANY DIGGING OR EXCAVATION.

- FINAL APPROVAL OF THESE GRADING PLANS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE.
- IMPORT MATERIAL SHALL BE OBTAINED FROM A LEGAL SITE.

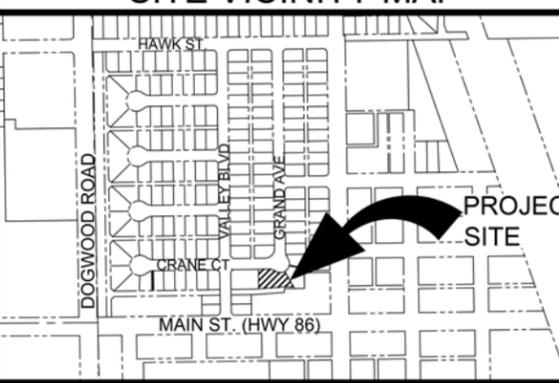
### GRADING PLAN GENERAL NOTES

- FINAL APPROVAL OF THESE GRADING PLANS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE.
- IMPORT MATERIAL SHALL BE OBTAINED FROM A LEGAL SITE.

## AREA VICINITY MAP



## SITE VICINITY MAP



## DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF THE WORK OF THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF THE PROJECT DRAWINGS AND SPECIFICATIONS BY THE COUNTY OF IMPERIAL IS CONFINED TO REVIEW ONLY AND DOES NOT RELIEVE ME AS ENGINEER OF WORK, OF MY RESPONSIBILITY FOR PROJECT DESIGN.

JAMES G. HOLT  
THE HOLT GROUP, INC.  
1801 N. IMPERIAL AVENUE  
(760) 337-3883

JAMES G. HOLT, P.E. DATE  
R.C.E. NO. 31773

## BOARD OF DIRECTORS

- |                      |                |
|----------------------|----------------|
| POMPEYO TABAREZ, JR. | PRESIDENT      |
| MOISES CARDENAS      | VICE-PRESIDENT |
| MARTIN NOLASCO, JR.  | DIRECTOR       |
| TONY SANDOVAL        | DIRECTOR       |
| KAINE GARCIA         | DIRECTOR       |

## HPUD STAFF

- |                     |                    |
|---------------------|--------------------|
| LAURA FISCHER       | GENERAL MANAGER    |
| RAQUEL CARRILLO     | CLERK OF THE BOARD |
| LEXANDRA CARMELO    | FINANCE MANAGER    |
| FRANCISCO RODRIGUEZ | LEAD OPERATOR      |
| STEVE WALKER        | HPUD ATTORNEY      |

## SHEET INDEX

- TITLE SHEET
- EXISTING SITE PLAN/ DEMOLITION PLAN
- NEW SITE LAYOUT
- SITE GRADING/UTILITY PLAN
- DETAIL SHEET
- DETAIL SHEET
- DETAIL SHEET
- LANDSCAPE PLAN
- LANDSCAPE DETAIL PLAN
- LANDSCAPE IRRIGATION PLAN
- ELECTRICAL PLAN
- ELECTRICAL PLAN
- ELECTRICAL PLAN

COUNTY OF IMPERIAL PUBLIC WORKS  
DEPARTMENT APPROVED FOR  
CONSTRUCTION BY:

DATE  
BY: JOHN A. GAY  
DIRECTOR OF PUBLIC WORKS  
COUNTY OF IMPERIAL

DESIGNED BY: FG, RS  
DRAWN BY: RS, AD  
CHECKED BY: JGH

SHEET 1  
OF 13 SHEETS

## LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF IMPERIAL, UNINCORPORATED AREA AND DESCRIBED AS FOLLOWS:  
LOT 3 OF BLOCK 6, HEBER PARK NORTH UNIT NO. 3, TRACT 818, UNINCORPORATED AREA, COUNTY OF IMPERIAL, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12, PAGE 22 OF FINAL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF IMPERIAL COUNTY.

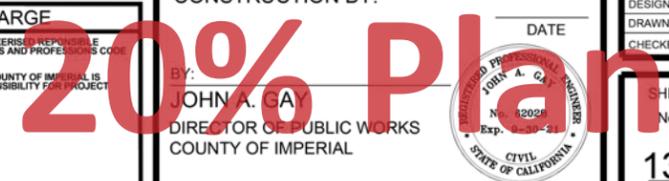
EXCEPT ALL MINERALS OF EVERY KIND, WHETHER SOLID OR IN SOLUTION, ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, ALL HOT WATER, STEAM AND STEAM POWER, GEOTHERMAL STEAM AND WATERS AND THERMAL ENERGY AND MINERAL BY-PRODUCTS THEREFROM FOR USE AS SUCH OR FOR CONVERSION INTO ELECTRICAL POWER OR FOR PROCESSING TO OBTAIN BY-PRODUCTS THEREFROM, WITHOUT, HOWEVER, ANY RIGHT TO ENTER UPON THE SURFACE OF, OR THE SUBSURFACE AREA THEREOF TO A DEPTH OF 500 FEET MEASURED FROM THE EXISTING SURFACE, RESERVED BY THE IRVING CO. BY DEED RECORDED OCTOBER 15, 1971 IN BOOK 1317, PAGE 322, OF OFFICIAL RECORDS.

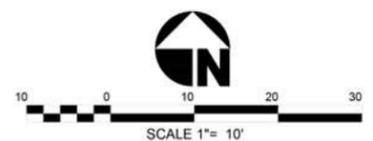
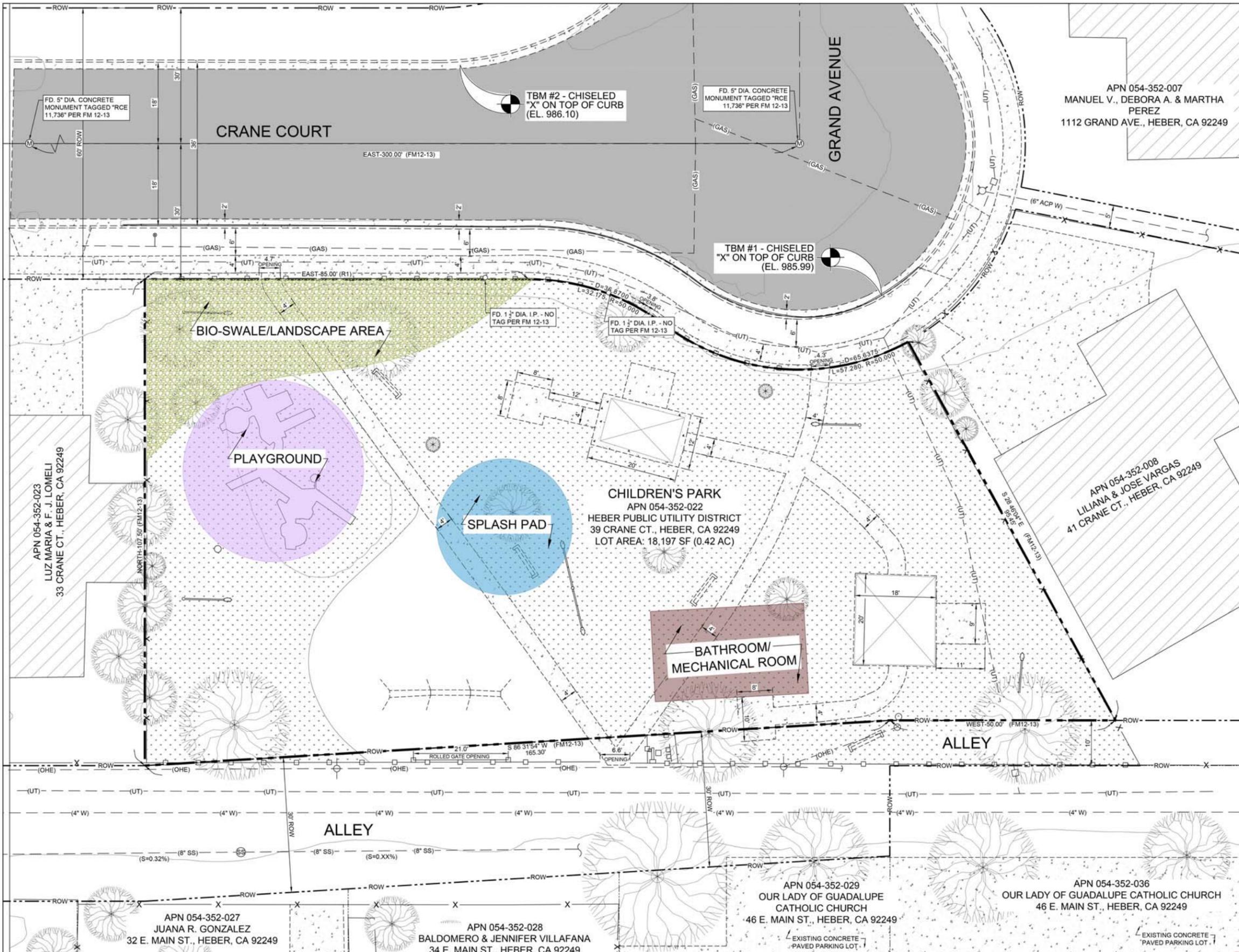
PREPARED UNDER THE DIRECT SUPERVISION OF:  
JAMES G. HOLT, P.E.  
09/13/2019  
DATE

31773  
R.C.E. NO.  
12/31/2020  
REG. EXP.

REGISTERED PROFESSIONAL ENGINEER • VINCENZO V. VITO  
JAMES G. HOLT  
No. 31773  
Exp. 12-31-20  
STATE OF CALIFORNIA

PROJECT TITLE: HEBER PUBLIC UTILITY DISTRICT-  
CHILDREN'S PARK RENOVATION PROJECT  
PROJECT NUMBER: 744.087  
SHEET CONTENT: TITLE SHEET





**The Holt Group, Inc.**  
 ENGINEERING · PLANNING · SURVEYING

EL CENTRO OFFICE  
 1601 N. Imperial Ave.  
 El Centro, CA 92243  
 (760) 337-3883

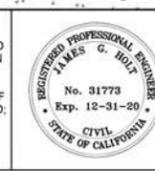
BLYTHE OFFICE  
 201 E. Hobsonway  
 Blythe, CA 92225  
 (760) 922-4658

| NO. | REVISIONS: | APPROVED | DATE |
|-----|------------|----------|------|
|     |            |          |      |
|     |            |          |      |

UNAUTHORIZED CHANGES & USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

DESIGN BY: RSN  
 DRAWN BY: RSN  
 CHECKED BY: JGH

**PROJECT BENCH MARK:**  
 THE PROJECT BENCHMARK IS A STANDARD DISK STAMPED "VFN GPS-19 RESET 1994" SET IN AN IMPERIAL IRRIGATION DISTRICT CONCRETE HEADWALL OF A CONCRETE BOX CULVERT. TO REACH THE BENCHMARK, GO 0.50 MILES EAST ON WILLOUGHBY ROAD FROM THE INTERSECTION OF DOGWOOD ROAD AND WILLOUGHBY ROAD TO WARE ROAD. THEN GO 163.50 NORTH ALONG WARE ROAD AND THE STATION TO THE LEFT, WEST 18.50 FEET FROM WARE ROAD CENTERLINE.  
 PROJECT ELEVATION: 1000.34' (NAVD 88+1000)



PREPARED UNDER THE DIRECT SUPERVISION OF:

|                      |                     |
|----------------------|---------------------|
| JAMES G. "JACK" HOLT | 31773               |
| DATE: 07/14/2020     | R.C.E. NO. 12/31/20 |
|                      | REG. EXP.           |

**PROJECT TITLE:**  
 HEBER PUBLIC UTILITY DISTRICT  
 CHILDREN'S PARK RENOVATION  
 STATEWIDE PARK DEVELOPMENT AND COMMUNITY REVITALIZATION  
 PROJECT NO. CS-1036

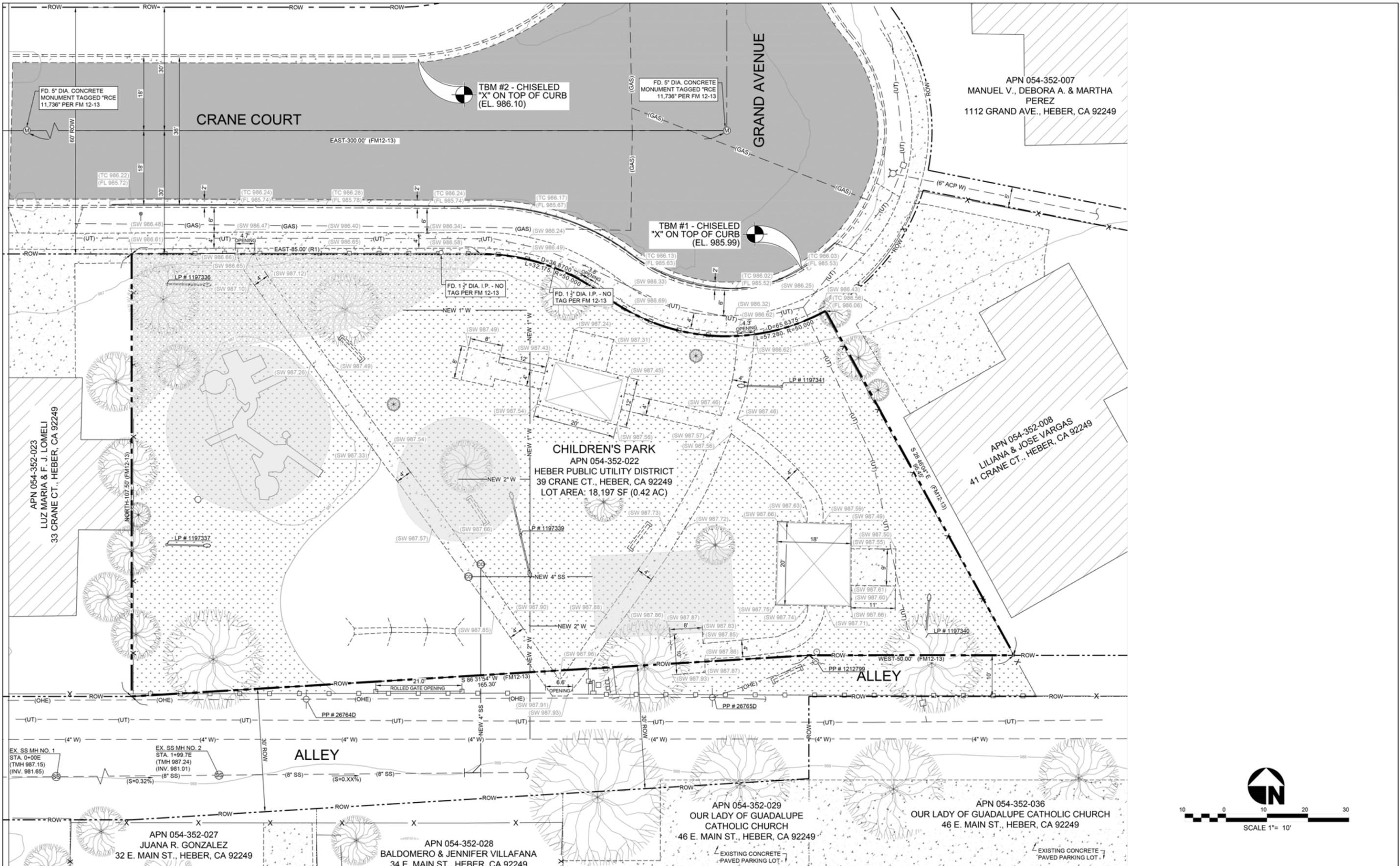
**SHEET CONTENT:**  
 NEW SITE LAYOUT

**SHEET**  
 3  
**OF 13 SHEETS**

JOB NO.  
 744.087E

**20% Plan**

Q:\El Centro\744.087\Design\CAD\744.087 - SHEET 3\_Site Layout.dwg 09/28/2020 16:30



**The Holt Group, Inc.**  
ENGINEERING · PLANNING · SURVEYING

EL CENTRO OFFICE  
1601 N. Imperial Ave.  
El Centro, CA 92243  
(760) 337-3883

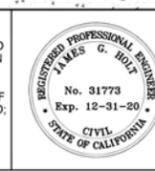
BLYTHE OFFICE  
201 E. Hobsonway  
Blythe, CA 92225  
(760) 922-4658

| NO. | REVISIONS: | APPROVED | DATE |
|-----|------------|----------|------|
|     |            |          |      |
|     |            |          |      |

UNAUTHORIZED CHANGES & USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

DESIGN BY: RSN  
DRAWN BY: RSN  
CHECKED BY: JGH

**PROJECT BENCH MARK:**  
THE PROJECT BENCHMARK IS A STANDARD DISK STAMPED "VGN GPS-19 RESET 1994" SET IN AN IMPERIAL IRRIGATION DISTRICT CONCRETE HEADWALL OF A CONCRETE BOX CULVERT. TO REACH THE BENCHMARK, GO 0.50 MILES EAST ON WILLOUGHBY ROAD FROM THE INTERSECTION OF DOGWOOD ROAD AND WILLOUGHBY ROAD TO WARE ROAD; THEN GO 163.50 NORTH ALONG WARE ROAD AND THE STATION TO THE LEFT, WEST 18.50 FEET FROM WARE ROAD CENTERLINE.  
PROJECT ELEVATION: 1000.34' (NAVD 88+1000)



PREPARED UNDER THE DIRECT SUPERVISION OF:  
JAMES G. "JACK" HOLT  
DATE: 07/14/2020

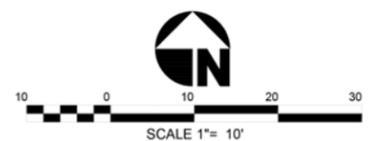
**PROJECT TITLE:**  
HEBER PUBLIC UTILITY DISTRICT CHILDREN'S PARK RENOVATION STATEWIDE PARK DEVELOPMENT AND COMMUNITY REVITALIZATION PROJECT NO. XS-13-036

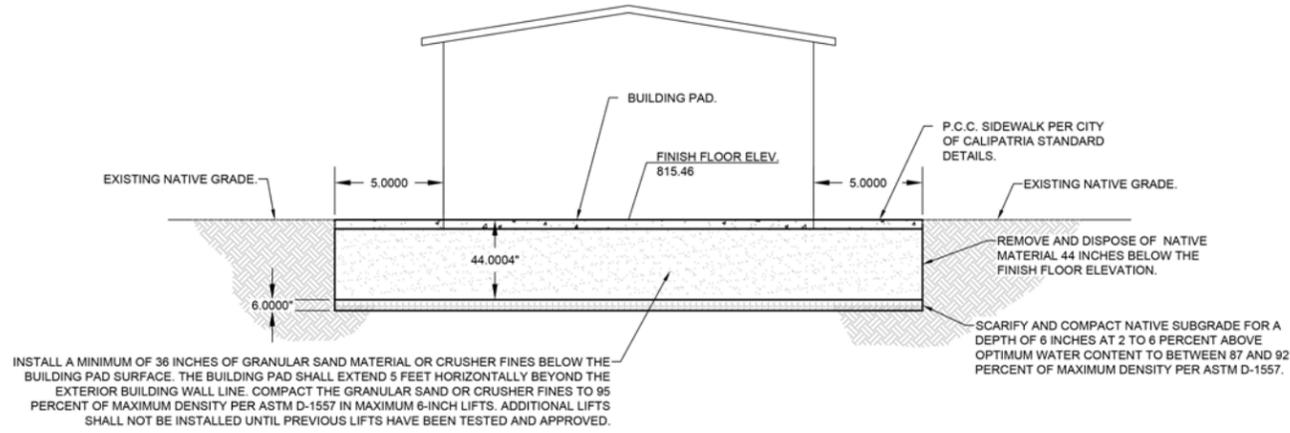
**SHEET CONTENT:**  
SITE GRADING/UTILITY PLAN

31773 R.C.E. NO.  
12/31/20 REG. EXP.

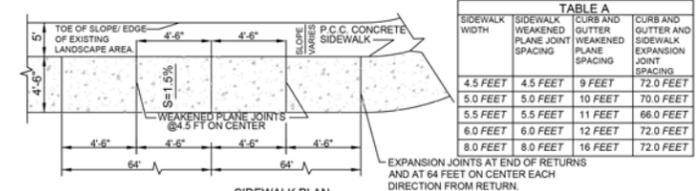
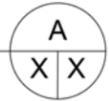
**SHEET**  
4 OF 13 SHEETS  
JOB NO. 744.087E

**20% Plan**

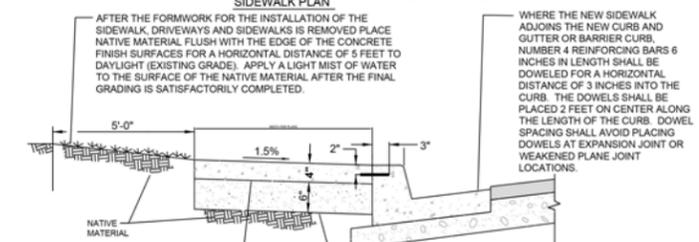




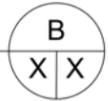
**PARK RESTROOM FOUNDATION DETAIL**  
NOT TO SCALE



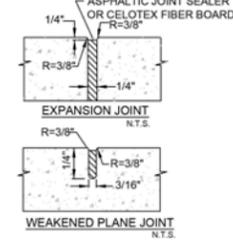
| SIDEWALK WIDTH | SIDEWALK WEAKENED PLANE JOINT SPACING | CURB AND GUTTER WEAKENED PLANE SPACING | CURB AND GUTTER AND SIDEWALK EXPANSION JOINT SPACING |
|----------------|---------------------------------------|--|--|
| 4.5 FEET       | 4.5 FEET                              | 9 FEET                                 | 72.0 FEET  |
| 5.0 FEET       | 5.0 FEET                              | 10 FEET                                | 70.0 FEET  |
| 5.5 FEET       | 5.5 FEET                              | 11 FEET                                | 66.0 FEET  |
| 6.0 FEET       | 6.0 FEET                              | 12 FEET                                | 72.0 FEET  |
| 8.0 FEET       | 8.0 FEET                              | 16 FEET                                | 72.0 FEET  |



**P.C.C. SIDEWALK DETAIL**  
NOT TO SCALE



- NOTES FOR CURB AND GUTTER AND SIDEWALK**
- PLACE WEAKENED PLANE JOINT ALONG THE CURB AND GUTTER PER CURB AND GUTTER DETAIL.
  - PLACE EXPANSION JOINT ALONG SIDEWALK AND CURB AND GUTTER PER CURB AND GUTTER DETAIL. EXPANSION JOINT MATERIAL TO BE COMPOSED OF 1/2" FIBER BOARD INSTALLED ACROSS FULL SECTION OF CURB AND GUTTER AND SIDEWALK.
  - THE GUTTER SURFACE, CURB FACE, TOP OF CURB, AND SIDEWALK SURFACE SHALL RECEIVE A DOUBLE TROWEL FINISH.
  - THE CURB AND GUTTER EDGES SHALL BE PLACED TRUE TO LINE AND GRADE. VERTICAL ELEVATIONS SHALL NOT VARY MORE THAN ±0.01' WITH A MAXIMUM VARIANCE OF 0.02' FROM DESIGN GRADE OCCURRING IN ANY GIVEN 100 FOOT SECTION. THE HORIZONTAL CURB AND GUTTER EDGES SHALL NOT VARY MORE THAN 1/4" IN ANY GIVEN 100 FOOT SECTION.
  - SIDEWALK SHALL BE INSTALLED AND ADJOINED TO THE CURB AND GUTTER AS ILLUSTRATED ON THE PLANS.
  - THE P.C.C. SHALL CONTAIN 6 1/2 SACKS OF CEMENT PER CUBIC YARD AND ATTAIN A COMPRESSIVE STRENGTH OF 4,500 PSI AFTER 28 DAYS CURING.
  - FOR SIDEWALK WIDTHS GREATER THAN 4.5 FEET WIDE WEAKENED PLANE JOINT AND EXPANSION JOINT SHALL CONFORM TO TABLE 'A' ABOVE.
  - THE P.C.C. SHALL CONTAIN 1 1/2 LBS OF POLYPROPYLENE FIBER PER CUBIC YARD. THE POLYPROPYLENE FIBER SHALL BE MANUFACTURED BY FIBERMESH OR AN APPROVED EQUAL.



**The Holt Group, Inc.**  
ENGINEERING · PLANNING · SURVEYING

**EL CENTRO OFFICE**  
1601 N. Imperial Ave.  
El Centro, CA 92243  
(760) 337-3883

**BLYTHE OFFICE**  
201 E. Hobsonway  
Blythe, CA 92225  
(760) 922-4658

| NO. | REVISIONS: | APPROVED | DATE |
|-----|------------|----------|------|
|     |            |          |      |
|     |            |          |      |
|     |            |          |      |

UNAUTHORIZED CHANGES & USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

**DESIGN BY:** RSN  
**DRAWN BY:** RSN  
**CHECKED BY:** JGH

**PROJECT BENCH MARK:**  
THE PROJECT BENCH MARK IS A STANDARD DISK STAMPED "MPN GPS-19 RESET 1994" SET IN AN IMPERIAL IRRIGATION DISTRICT CONCRETE HEADWALL OF A CONCRETE BOX CULVERT. TO REACH THE BENCHMARK, GO 0.50 MILES EAST ON WILLOUGHBY ROAD FROM THE INTERSECTION OF DOGWOOD ROAD AND WILLOUGHBY ROAD TO WARE ROAD; THEN GO 163.50 NORTH ALONG WARE ROAD AND THE STATION TO THE LEFT, WEST 18.50 FEET FROM WARE ROAD CENTERLINE.  
PROJECT ELEVATION: 1000.34' (NAVD 88+1000)

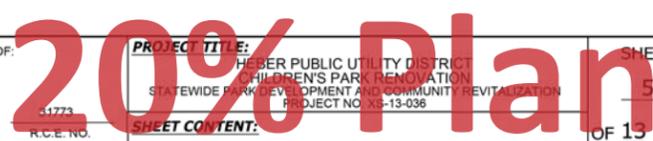


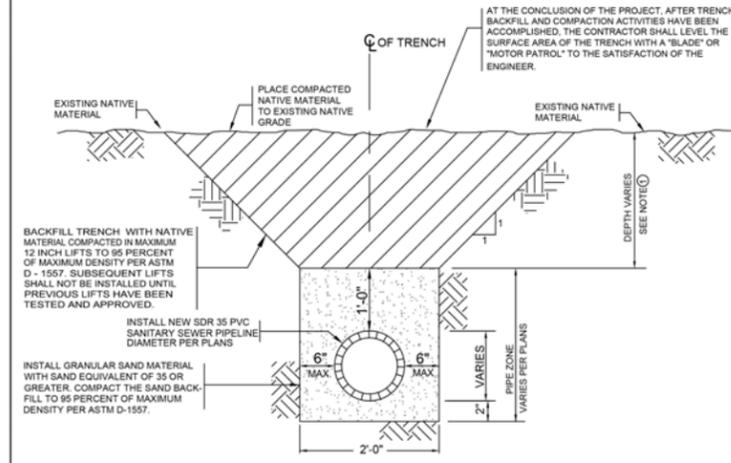
PREPARED UNDER THE DIRECT SUPERVISION OF:  
JAMES G. "JACK" HOLT  
DATE: 07/14/2020  
REG. EXP. DATE: 12/31/20

**PROJECT TITLE:**  
HEBER PUBLIC UTILITY DISTRICT CHILDREN'S PARK RENOVATION STATEWIDE PARK DEVELOPMENT AND COMMUNITY REVITALIZATION PROJECT NO. XS-13-036

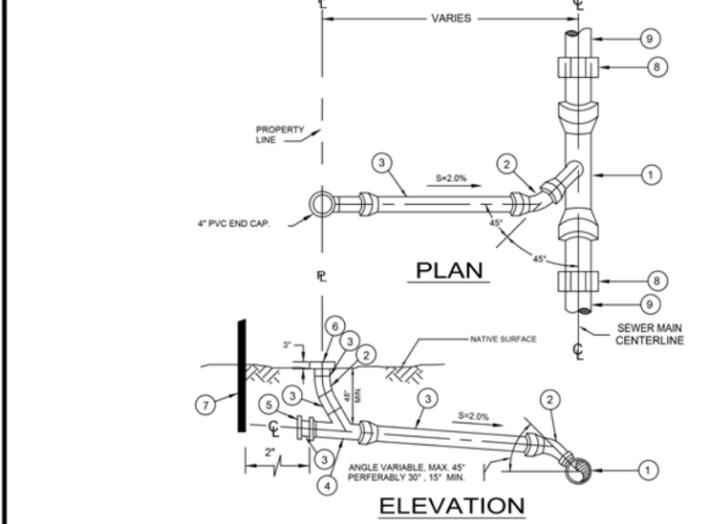
**SHEET CONTENT:**  
DETAIL SHEET

SHEET 5 OF 13 SHEETS  
JOB NO. 744.087E

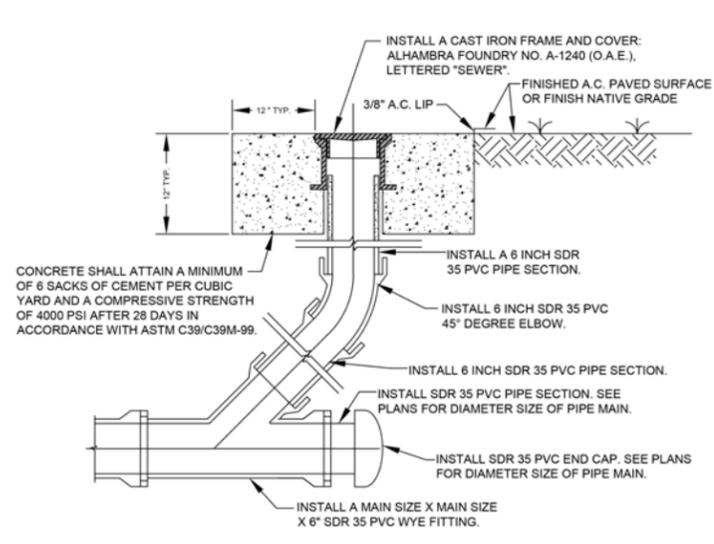




- NOTES:**
- TRENCH DEPTH SHALL HAVE A MINIMUM OF 3'-6".
  - WHERE THE PERMIT OF A GOVERNING AGENCY SETS FOURTH REQUIREMENTS MORE STRINGENT THAN THOSE STATED HEREIN, THE CONTRACTOR SHALL ADHERE TO THE AGENCY REQUIREMENTS.
  - WHERE THE TRENCH DEPTH EXCEEDS 3', THE PIPELINE CONTRACTOR SHALL UTILIZE ANY OF THE FOLLOWING METHODS FOR EXCAVATION AND TRENCH STABILIZATION. THE METHOD OF EXCAVATION AND TRENCH STABILIZATION SHALL BE APPROVED BY CAL OSHA
    - SHORING AS APPROVED BY THE ENGINEER.
    - SLOPING BOTH TRENCH SIDES AT A 1:1 MAXIMUM ABOVE THE BOTTOM 3 FEET.
    - "STEPPING OR BENCHING" BOTH TRENCH SIDES AT 3 FOOT VERTICAL INCREMENTS. THE WIDTH OF EACH BENCH SHALL BE THE SAME AS THE BOTTOM 3 FEET.
    - USE OF A STEEL SHIELD.
    - USE OF TRENCH JACKS.



- KEYNOTES**
- PIPE MAIN SIZE: x 4-INCH SDR 35 PVC WYE FITTING.
  - INSTALL 4 INCH 45 DEGREE SDR 35 PVC FITTING.
  - INSTALL 4" SDR 35 PVC SANITARY SEWER PIPE SECTION.
  - INSTALL 4 INCH SDR 35 PVC WYE FITTING. INSTALL 4 INCH SDR 35 PVC END CAP.
  - PLACE A CLEAN-OUT AT THE PROPERTY LINE.
  - PLACE A 4 INCH SDR 35 PVC END CAP AT THE CLEAN-OUT TERMINATION POINT.
  - INSTALL A 2X4 AT THE END OF EACH LATERAL EXTENDING FROM THE INVERT OF THE LATERAL TERMINATION POINT TO 2-FEET ABOVE THE EXISTING NATIVE SURFACE.
  - INSTALL CALDER STYLE ASTM C117 COUPLING WITH STAINLESS STEEL BANDS AND HARDWARE TO CONNECT THE 8-INCH VCP AND 8-INCH SDR 35 PVC PIPELINES.
  - EXISTING 8-INCH VCP SANITARY SEWER PIPELINE TO REMAIN.
- NOTES:**
- SEWER LATERALS SHALL HAVE A MINIMUM SLOPE OF 2 PERCENT SLOPE EXCEPT AS OTHERWISE SPECIFICALLY NOTED ON THE PLANS.
  - END CAPS SHALL BE COMPOSED OF SDR 35 PVC WITH O-RING GASKETS.
  - IN NO CASE SHALL A LATERAL CONNECT TO THE SEWER MAIN DIRECTLY ON TOP OF THE PIPE.



NOTE: CLEANOUT RING AND COVER SHALL BE RAISED TO FINISHED GRADE AND SUPPORT COLLAR INSTALLED AFTER PAVING OR FINISH GRADING IS COMPLETED.

**TYPICAL SANITARY SEWER PIPE TRENCH IN UNPAVED AREAS** HPUD STD. SS 102 NOT TO SCALE

**TYPICAL SANITARY SEWER LATERAL** HPUD STD. SS 104A - MODIFIED NOT TO SCALE

**TYPICAL SANITARY SEWER CLEANOUT** HPUD STD. SS 105 NOT TO SCALE

**X** NOT TO SCALE

**The Holt Group, Inc.**  
ENGINEERING · PLANNING · SURVEYING

**EL CENTRO OFFICE**  
1601 N. Imperial Ave.  
El Centro, CA 92243  
(760) 337-3883

**BLYTHE OFFICE**  
201 E. Hobsonway  
Blythe, CA 92225  
(760) 922-4658

| NO. | REVISIONS: | APPROVED | DATE |
|-----|------------|----------|------|
|     |            |          |      |
|     |            |          |      |
|     |            |          |      |

**DESIGN BY:** RSN  
**DRAWN BY:** RSN  
**CHECKED BY:** JGH

**PROJECT BENCH MARK:**  
THE PROJECT BENCHMARK IS A STANDARD DISK STAMPED "VFN GPS-19 RESET 1994" SET IN AN IMPERIAL IRRIGATION DISTRICT CONCRETE HEADWALL OF A CONCRETE BOX CULVERT. TO REACH THE BENCHMARK, GO 0.50 MILES EAST ON WILLOUGHBY ROAD FROM THE INTERSECTION OF DOGWOOD ROAD AND WILLOUGHBY ROAD TO WARE ROAD; THEN GO 163.50 NORTH ALONG WARE ROAD AND THE STATION TO THE LEFT, WEST 18.50 FEET FROM WARE ROAD CENTERLINE.  
PROJECT ELEVATION: 1000.34' (NAVD 88+1000)



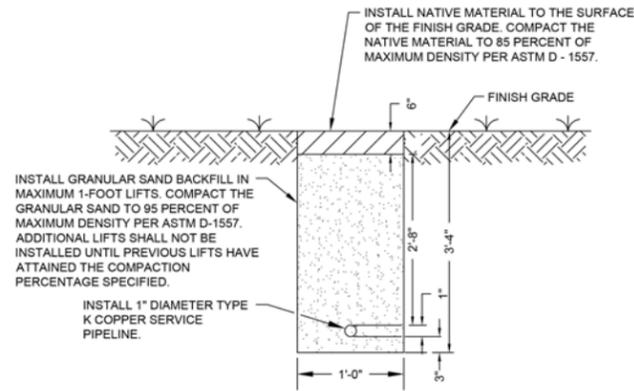
PREPARED UNDER THE DIRECT SUPERVISION OF:  
JAMES G. "JACK" HOLT  
DATE: 07/14/2020  
REG. EXP. 12/31/20

**PROJECT TITLE:** HEBER PUBLIC UTILITY DISTRICT CHILDREN'S PARK RENOVATION STATEWIDE PARK DEVELOPMENT AND COMMUNITY REVITALIZATION PROJECT NO. XS-13-036

**SHEET CONTENT:** DETAIL SHEET

**SHEET** 6 **OF 13 SHEETS**  
JOB NO. 744.087E

**20% Plan**



**SMALL DIAMETER POTABLE WATER SERVICE PIPELINE IN NATIVE AREAS**  
 HPUD STD. W 105

X  
 X X

X

NOT TO SCALE

X  
 X X

X

NOT TO SCALE

X  
 X X

X

NOT TO SCALE

X  
 X X

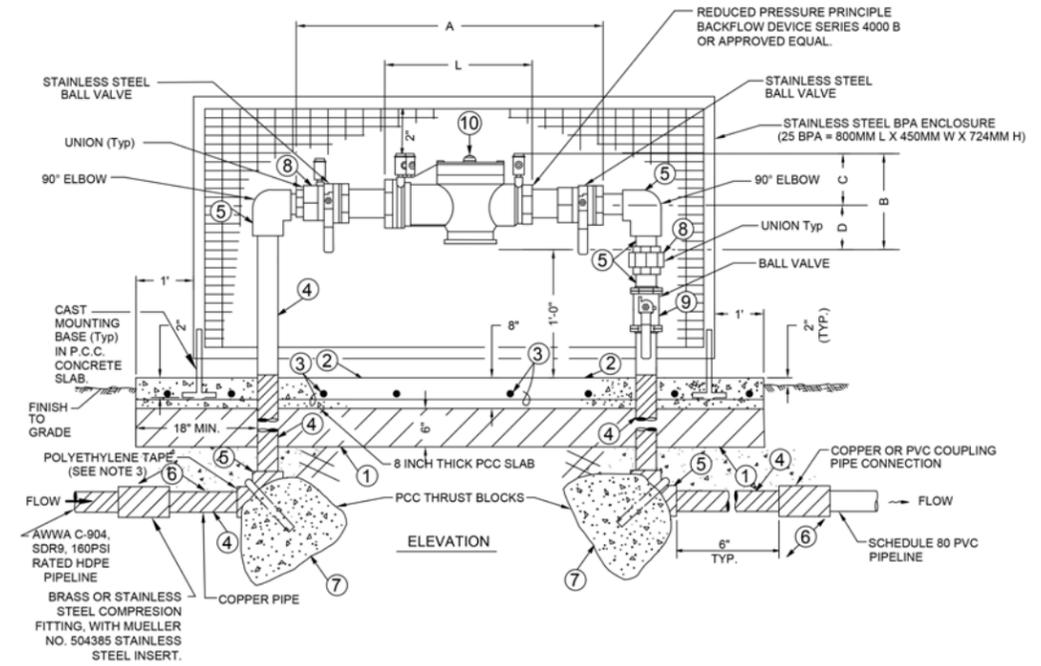
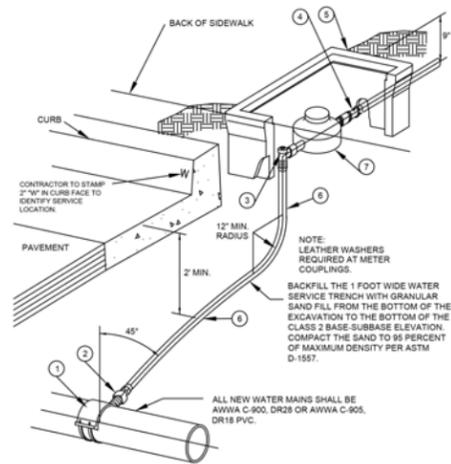


TABLE OF DIMENSIONS FOR BACKFLOW ASSEMBLY

| SIZE (DN) | DIMENSIONS (APPROX.) |       |       |       |       |       | WEIGHT |       |        |       |       |      |
|-----------|----------------------|-------|-------|-------|-------|-------|--------|-------|--------|-------|-------|------|
|           | A in.                | A mm. | B in. | B mm. | C in. | C mm. | D in.  | D mm. | L in.  | L mm. | lbs.  | kg.  |
| 1/2 15    | 10                   | 250   | 4-3/8 | 117   | 3-3/8 | 86    | 1-1/4  | 32    | 5-1/2  | 140   | 4.50  | 2.0  |
| 3/4 20    | 10-3/4               | 273   | 5     | 127   | 3-1/2 | 89    | 1-1/2  | 38    | 6-3/4  | 171   | 5.75  | 2.6  |
| 1 25      | 16-3/4               | 425   | 5-1/2 | 140   | 3     | 76    | 2-1/2  | 64    | 9-1/2  | 241   | 12.25 | 5.6  |
| 1-1/4 32  | 17-3/8               | 441   | 6     | 150   | 3-1/2 | 89    | 2-1/2  | 64    | 11-3/8 | 289   | 14.62 | 6.6  |
| 1-1/2 40  | 17-7/8               | 454   | 6     | 150   | 3-1/2 | 89    | 2-1/2  | 64    | 11-1/8 | 283   | 16.32 | 7.4  |
| 2 50      | 21-3/8               | 543   | 7-3/4 | 197   | 4-1/2 | 114   | 3-1/4  | 83    | 13-1/2 | 343   | 30.00 | 13.6 |

- NOTES:
- INSTALL 6 INCHES OF CLASS 2 BASE. COMPACT THE CLASS 2 BASE TO 95 PERCENT OF MAXIMUM DENSITY PER ASTM D-1557.
  - INSTALL A 4 FOOT WIDE, 8 INCH DEEP P.C.C. CONCRETE SLAB. THE LENGTH OF THE CONCRETE SLAB SHALL BE DETERMINED BY THE DIAMETER SIZE OF THE PIPELINE AND LENGTH OF THE BACKFLOW PREVENTER ASSEMBLY. THE SURFACE OF THE CONCRETE SLAB SHALL RECEIVE A DOUBLE TROWEL FINISH. THE CONCRETE SHALL CONTAIN 6-1/2 SACKS OF CEMENT PER CUBIC YARD AND ATTAIN A COMPRESSIVE STRENGTH OF 4,500 PSI AFTER 28 DAYS CURING. THE CEMENT SHALL BE TYPE V.
  - INSTALL NUMBER 4 REINFORCING BARS 12 INCHES ON CENTER EACH WAY.
  - INSTALL COPPER PIPELINE PER THE DIAMETER REQUIRED BY THE PLANS.
  - INSTALL COPPER 90 DEGREE ELBOWS.
  - BACKFILL THE BELOW GRADE COPPER PIPELINES AND 90 DEGREE ELBOW WITH A 1 FOOT ENVELOPE OF GRANULAR SAND BACKFILL. COMPACT THE GRANULAR SAND BACKFILL TO 95 PERCENT OF MAXIMUM DENSITY PER ASTM D-1557.
  - INSTALL P.C.C. THRUST BLOCKS WITH SECUREMENT HOOK.
  - INSTALL A BRASS UNION FITTING. THE DIAMETER SIZE SHALL BE AS INDICATED ON THE PLANS.
  - INSTALL A BRASS BALL VALVE WITH OPERATOR HANDLE. THE DIAMETER SIZE SHALL BE AS INDICATED ON THE PLANS.
  - INSTALL A BRONZE BODY REDUCED PRESSURE PRINCIPAL BACKFLOW DEVICE ASSEMBLY WITH STAINLESS STEEL BALL VALVE HANDLES. CLEAN AND CHECK STRAINER AND UNION CONNECTIONS. THE BRONZE BODY REDUCED PRESSURE PRINCIPAL BACKFLOW DEVICE SHALL BE AN AMES FIRE & WATERWORKS SERIES 4000B OR APPROVED EQUAL.

**1-INCH RESIDENTIAL WATER SERVICE CONNECTION**  
 HPUD STD. W 107 - MODIFIED

X  
 X X

**REDUCED PRESSURE PRINCIPAL 1/2 INCH - 2 INCH DIAMETER BACKFLOW PREVENTION ASSEMBLY**  
 HPUD STD. W 114 - MODIFIED

X  
 X X

**The Holt Group, Inc.**  
 ENGINEERING · PLANNING · SURVEYING

EL CENTRO OFFICE  
 1601 N. Imperial Ave.  
 El Centro, CA 92243  
 (760) 337-3883

BLYTHE OFFICE  
 201 E. Hobsonway  
 Blythe, CA 92225  
 (760) 922-4658

| NO. | REVISIONS: | APPROVED | DATE | DESIGN BY: | DRAWN BY: | CHECKED BY: |
|-----|------------|----------|------|------------|-----------|-------------|
|     |            |          |      | RSN        | RSN       | JGH         |

UNAUTHORIZED CHANGES & USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

**PROJECT BENCH MARK:**  
 THE PROJECT BENCHMARK IS A STANDARD DISK STAMPED "IPN GPS-19 RESET 1994" SET IN AN IMPERIAL IRRIGATION DISTRICT CONCRETE HEADWALL OF A CONCRETE BOX CULVERT. TO REACH THE BENCHMARK, GO 0.50 MILES EAST ON WILLOUGHBY ROAD FROM THE INTERSECTION OF DOGWOOD ROAD AND WILLOUGHBY ROAD TO WARE ROAD; THEN GO 183.50 NORTH ALONG WARE ROAD AND THE STATION TO THE LEFT, WEST 18.50 FEET FROM WARE ROAD CENTERLINE.  
 PROJECT ELEVATION: 1000.34' (NAVD 88+1000)



PREPARED UNDER THE DIRECT SUPERVISION OF:  
 JAMES G. "JACK" HOLT  
 07/14/2020  
 DATE

PROJECT TITLE:  
 HEBER PUBLIC UTILITY DISTRICT CHILDREN'S PARK RENOVATION STATEWIDE PARK DEVELOPMENT AND COMMUNITY REVITALIZATION PROJECT NO. XS-13-038

SHEET CONTENT:  
 DETAIL SHEET

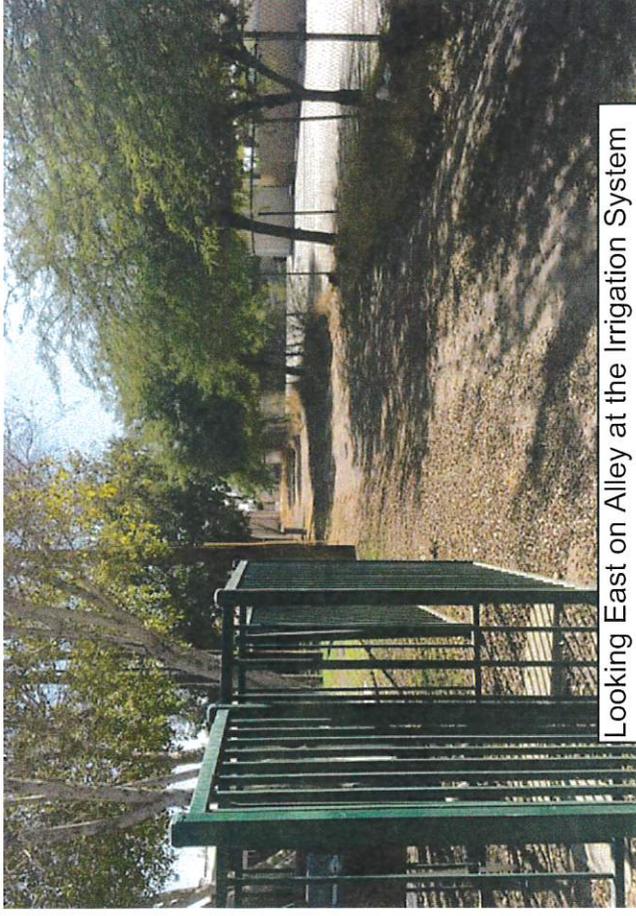
SHEET  
 7  
 OF 13 SHEETS  
 JOB NO.  
 744.087E

**20% Plan**

744.087 - HPUD Children's Park Renovation Project - Park Encroachment in Alley



Looking East from the S. Side of the Children's Park Behind the Swing Set



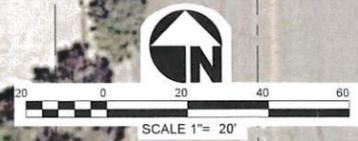
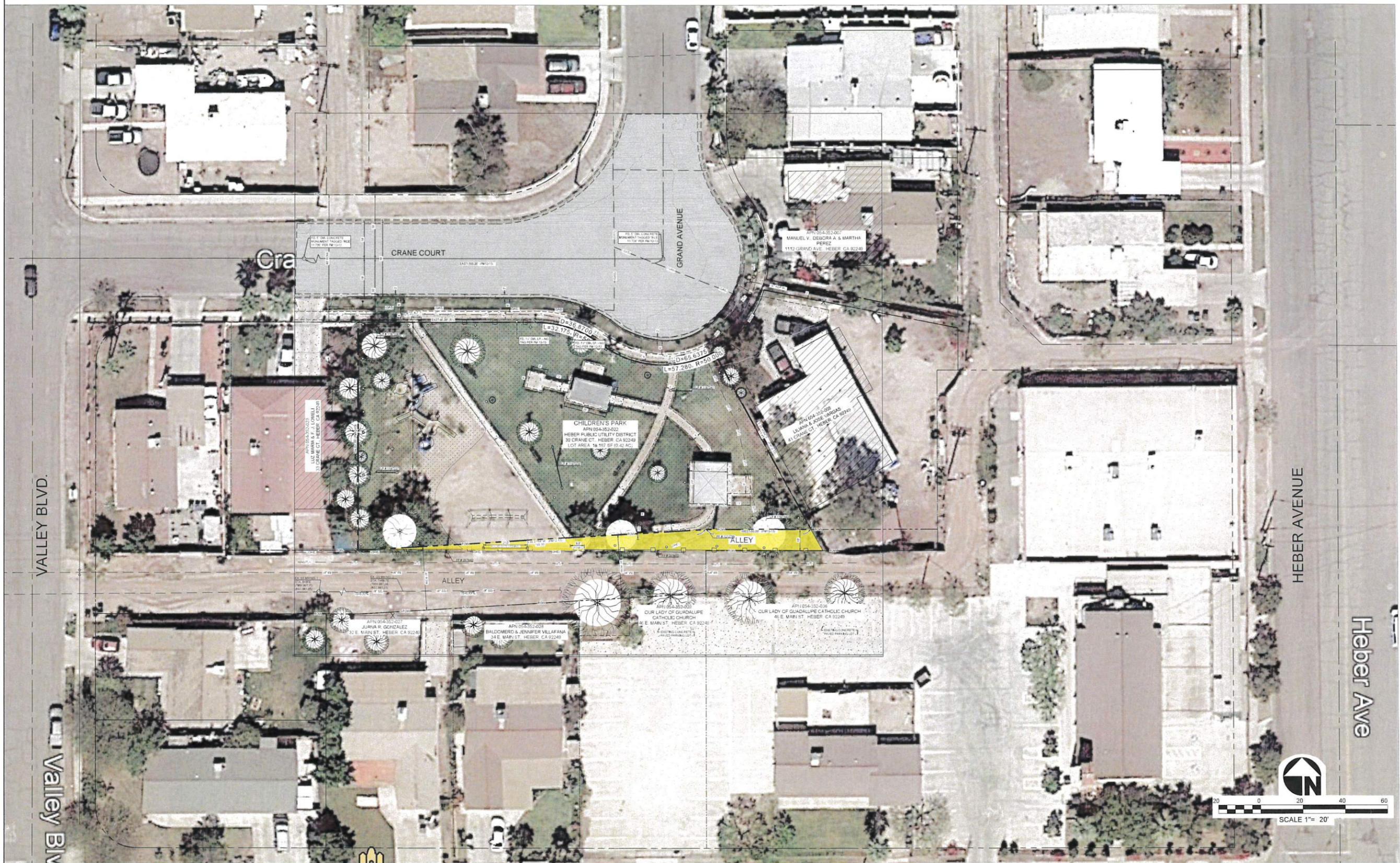
Looking East on Alley at the Irrigation System



Looking East on Alley Behind the Swing Set



Looking West on Alley Behind the Swing Set



**The Holt Group, Inc.**  
ENGINEERING • PLANNING • SURVEYING

**EL CENTRO OFFICE**  
1601 N. Imperial Ave.  
El Centro, CA 92243  
(760) 337-3883

**BLYTHE OFFICE**  
201 E. Hobsonway  
Blythe, CA 92225  
(760) 922-4658

| NO. | REVISIONS | APPROVED | DATE |
|-----|-----------|----------|------|
|     |           |          |      |
|     |           |          |      |
|     |           |          |      |

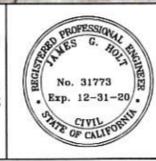
UNAUTHORIZED CHANGES & USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

DESIGN BY  
RSN

DRAWN BY  
RSN, LNM

CHECKED BY  
JGH

**PROJECT BENCH MARK:**  
THE PROJECT BENCHMARK IS A STANDARD DISK STAMPED "IPVN GPS-19 RESET 1994" SET IN AN IMPERIAL IRRIGATION DISTRICT CONCRETE HEADWALL OF A CONCRETE BOX CULVERT. TO REACH THE BENCHMARK, GO 0.50 MILES EAST ON WILLOUGHBY ROAD FROM THE INTERSECTION OF DOGWOOD ROAD AND WILLOUGHBY ROAD TO WARE ROAD, THEN GO 163.50 NORTH ALONG WARE ROAD AND THE STATION TO THE LEFT, WEST 18.50 FEET FROM WARE ROAD CENTERLINE.  
PROJECT ELEVATION 1000.34' (NAVD 88+1000)



PREPARED UNDER THE DIRECT SUPERVISION OF

JAMES G. "JACK" HOLT

07/14/2020  
DATE

31773  
R.C.E. NO.

12/31/20  
REG. EXP.

**PROJECT TITLE:**  
HEBER PUBLIC UTILITY DISTRICT  
CHILDREN'S PARK RENOVATION  
STATEWIDE PARK DEVELOPMENT AND COMMUNITY REVITALIZATION  
PROJECT NO. XS-13-036

**SHEET CONTENT:**  
EXISTING SITE PLAN/DEMOLITION PLAN

SHEET  
X  
OF 13 SHEETS  
JOB NO.  
744.087E

Q:\El Centro\744.087E\Design\CAD\744.087E - SHEET X\_Existing Alley.dwg 10/06/2020 16:38